

**LEGAL DESCRIPTION**

LOT 76, PLAN KAF700, SECTION 19, TOWNSHIP 26, OSOYOOS DIV OF YALE LAND DISTRICT

**CIVIC ADDRESS**

809 BURNE AVE, KELOWNA, B.C.

**SITE RECONCILIATION**

**SITE AREA:** 566.24 sqm. OR 6,095.00 sqft.

**LOT WIDTH:** MINIMUM: 7.5m OR 24.61' EXISTING: 15.24m OR 50.00'

**LOT DEPTH:** MINIMUM: 30m OR 98.43' EXISTING: 37.16m OR 121.90'

**ZONING:** MF1

**LOT COVERAGE:** MAXIMUM: 55% - 311.43 sqm. OR 3,352.25 sqft. PROPOSED: 40.17% - 227.47 sqm. OR 2,448.42 sqft. (EXCLUDED GARAGE)

**LOT COVERAGE 4 IMPERMEABLE SURFACE:** MAXIMUM: 75% - 424.68 sqm. OR 4,571.25 sqft. PROPOSED: 74.79% - 424.49 sqm. OR 4,558.43 sqft.

**F5R:** MAXIMUM: 0.8 (W/ LANE) - 453.00 sqm. OR 4,876.00sqft. PROPOSED: 0.78 - 449.74 sqm. OR 4,767.15 sqft. (EXCLUDED GARAGE)

**BUILDING HEIGHT:** MAXIMUM: 8.0m OR 26.25' PROPOSED: 7.99m OR 26.20'

**SETBACKS:**  
**FOUR-PLEX FRONT:** MINIMUM: 4.00m OR 13.12' PROPOSED: 4.00m OR 13.12'  
**REAR:** MINIMUM: 0.90m OR 2.95' PROPOSED: 1.248m OR 40.94'  
**RIGHT:** MINIMUM: 1.20m OR 3.94' PROPOSED: 1.91m OR 6.27'  
**LEFT:** MINIMUM: 1.20m OR 3.94' PROPOSED: 1.91m OR 6.27'

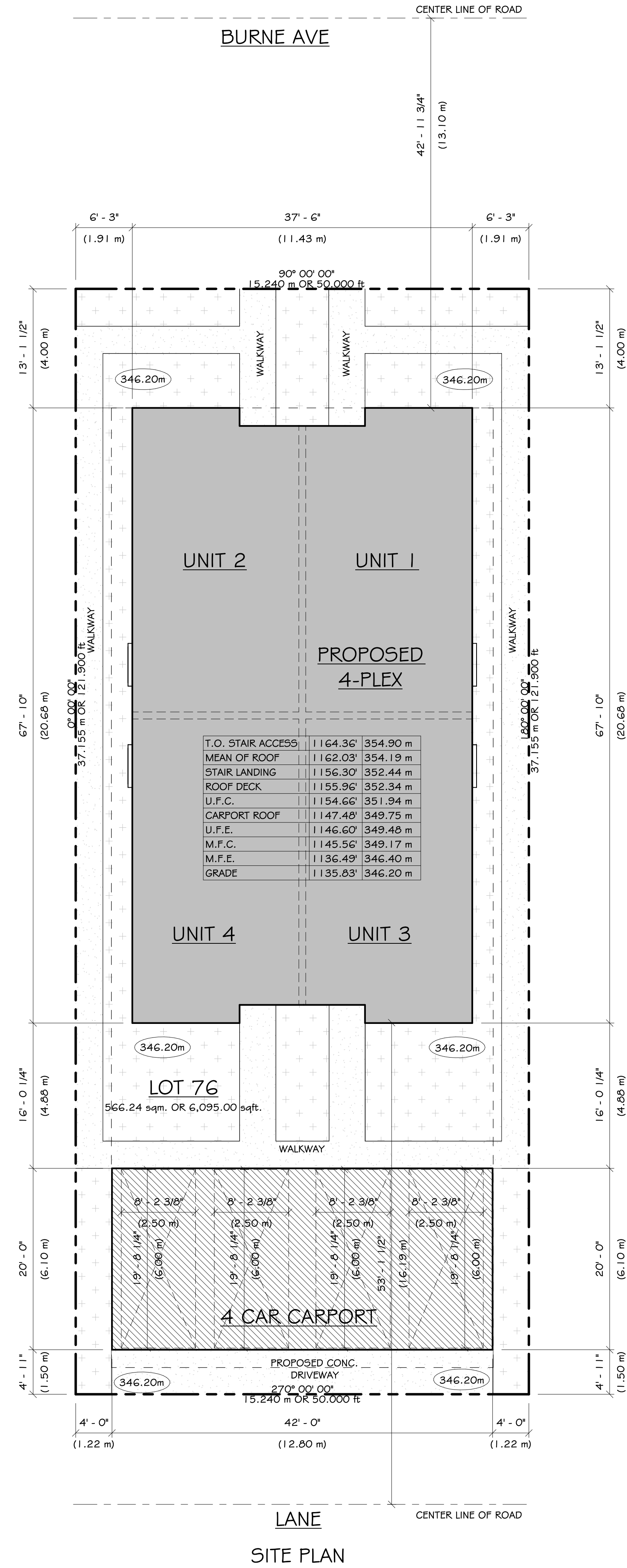
**CARPORT FRONT:** MINIMUM: 4.00m OR 13.12' PROPOSED: 29.56m OR 96.98'  
**REAR:** MINIMUM: 0.90m OR 2.95' PROPOSED: 1.50m OR 4.92'  
**RIGHT:** MINIMUM: 1.20m OR 3.94' PROPOSED: 1.22m OR 4.00'  
**LEFT:** MINIMUM: 1.20m OR 3.94' PROPOSED: 1.22m OR 4.00'

**FLOODPLAIN:**  
 REQUIRED FCL: 346.40m  
 EXISTING GRADE: 346.20m  
 TOP OF CONCRETE SLAB: 346.40m

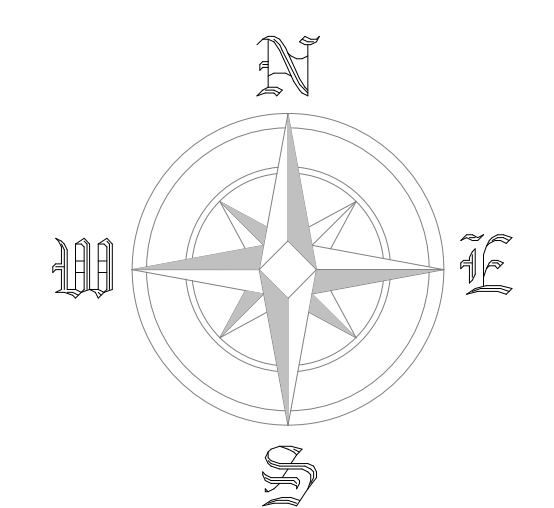
10 MINUTE FIRE RESPONSE: YES

**PARKING CALCULATIONS:**  
 REQUIRED: 1 STALL PER DWELLING UNIT

PROPOSED: 4 STALLS IN CAR PORT



PERSPECTIVE



- NOTE: ALL STRUCTURE TO BE SPECIFIED BY STRUCTURAL ENGINEER
- NOTE: ALL RETAINING TO BE SPECIFIED BY GEOTECHNICAL ENGINEER
- NOTE: STEP CODE REQUIREMENTS TO BE PROVIDED BY ENERGY MODELLING CONSULTANT
- NOTE: TRUSS DESIGN TO BE REVIEWED BY JCR DESIGN
- NOTE: JCR DESIGN ASSUMES NO RESPONSIBILITY FOR ANY OMISSIONS OR ERRORS
- NOTE: ALL CONSULTANT DRAWINGS TO BE REVIEWED BY JCR DESIGN PRIOR TO START OF CONSTRUCTION
- NOTE: ALL CHANGES & REVISIONS TO ARCHITECTURAL & STRUCTURAL COMPONENTS MUST BE REVIEWED BY JCR DESIGN.



**JCR DESIGN Ltd. EST. 2003**

NO.	REVISION/ISSUE	DATE
2	ISSUED FOR PERMIT	19-09-2023
3	ISSUED FOR PERMIT	05-10-2023
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5	RE-ISSUED FOR PERMIT	16-11-2023

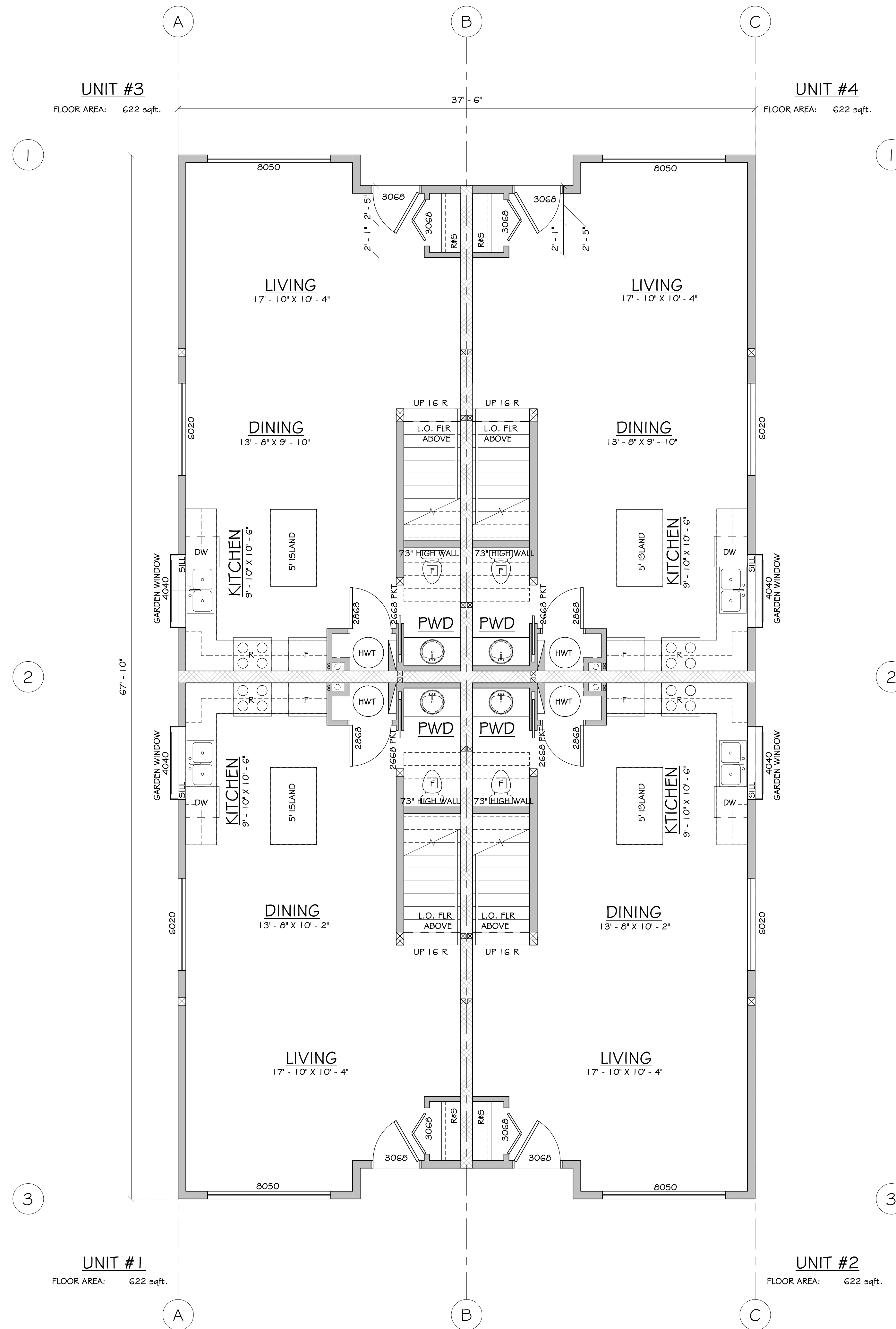
201-45269 KEITH WILSON RD  
 CHILLIWACK, B.C. V2R 5S1  
 PHONE: 604-858-0031  
 EMAIL: INFO@JCRDESIGN.CA

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PROJECT NAME AND ADDRESS:  
**KELOWNA 4PLEX**  
 809 BURNE AVENUE  
 KELOWNA, B.C.

DRAWING TITLE:  
**SITE PLAN & NOTES - DP**

DRAWN:	J.K.	SHEET:
PROJECT #:	23137	<b>A1.1</b>
CHECKED:	JCR	
DATE:	16 NOVEMBER 2023	
SCALE:	1/8" = 1'-0"	



MAIN FLOOR PLAN

- TYPICAL WINDOW NOTES:**
- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 30' OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
  - INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
  - DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

- TYPICAL NOTES:**
- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
  - ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
  - ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
  - ALL HAND RAILS AS PER B.C.B.C. 9.8.7
  - ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
  - ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
  - ATTIC HATCHES TO BE WEATHERSTRIPPED



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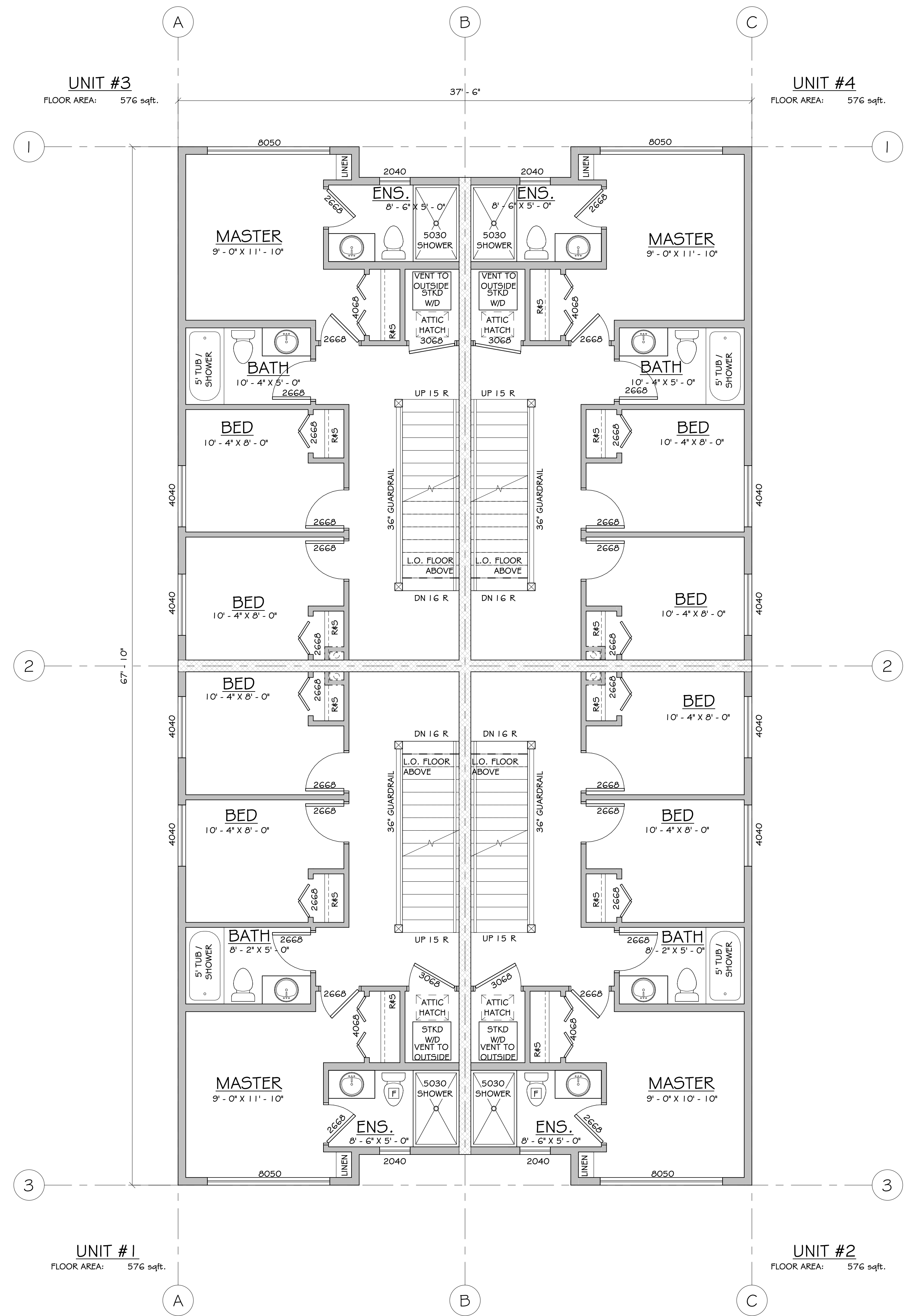
PROJECT NAME AND ADDRESS:

**KELOWNA 4PLEX**  
809 BURNE AVENUE  
KELOWNA, B.C.

DRAWING TITLE:

**MAIN FLOOR PLAN**

DRAWN:	J.K.	SHEET:	<b>A2.1</b>
PROJECT #:	23137		
CHECKED:	JCR		
DATE:	16 NOVEMBER 2023		
SCALE:	1/4" = 1'-0"		



UPPER FLOOR PLAN

**TYPICAL WINDOW NOTES:**

- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 30 OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
- INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
- DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

**TYPICAL NOTES:**

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- ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
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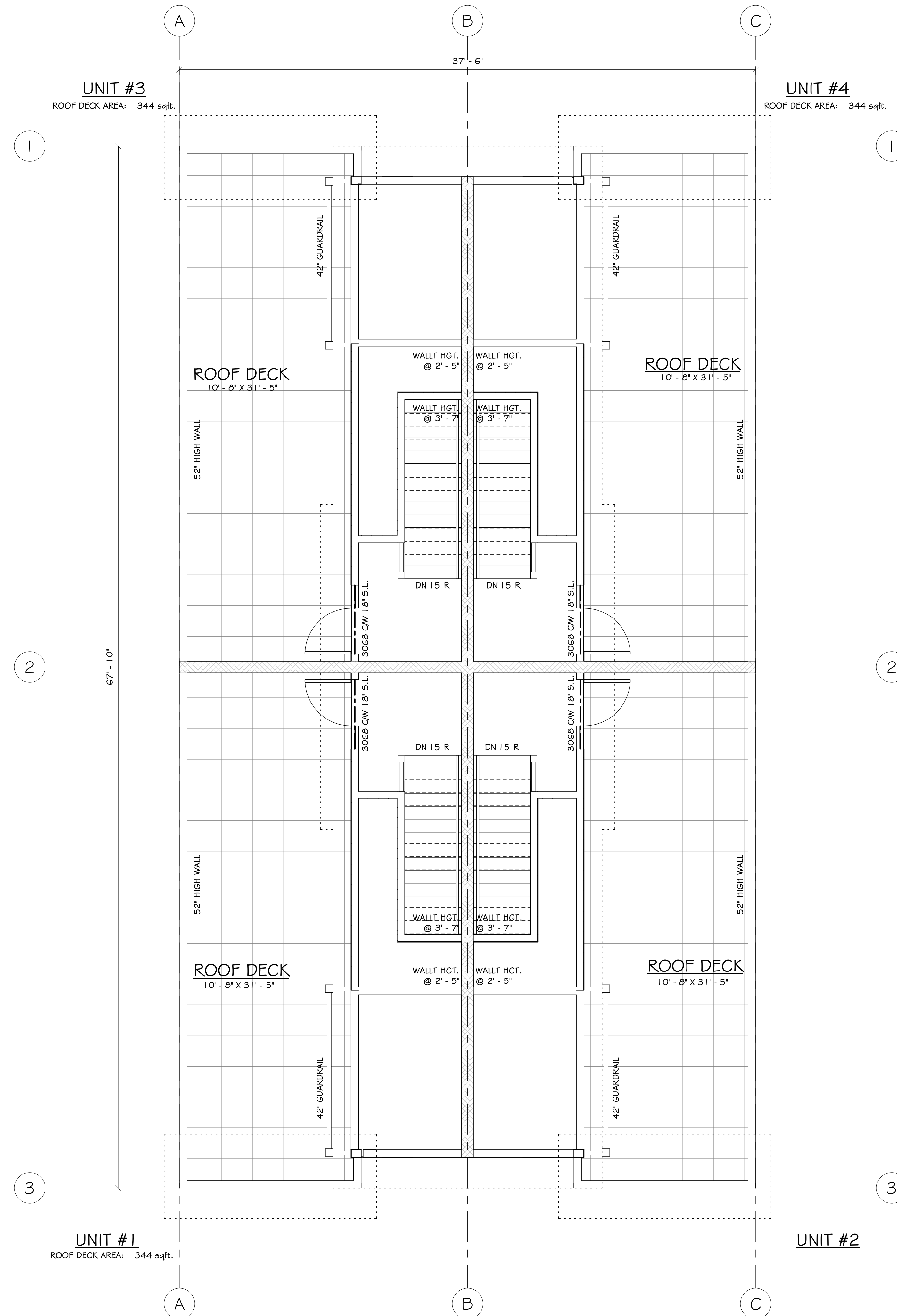
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 809 BURNE AVENUE  
 KELOWNA, B.C.

DRAWING TITLE:  
**UPPER FLOOR PLAN**

DRAWN:	J.K.	SHEET:	<b>A2.2</b>
PROJECT #:	23137		
CHECKED:	JCR		
DATE:	16 NOVEMBER 2023		
SCALE:	1/4" = 1'-0"		



ROOF DECK PLAN  
TOTAL DECK AREA: 1,376 sqft.

- TYPICAL WINDOW NOTES:**
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- TYPICAL NOTES:**
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**KELOWNA 4PLEX**  
809 BURNE AVENUE  
KELOWNA, B.C.

DRAWING TITLE:  
**ROOF DECK PLAN**

DRAWN:	J.K.	SHEET:
PROJECT #:	23137	<b>A2.3</b>
CHECKED:	JCR	
DATE:	16 NOVEMBER 2023	
SCALE:	1/4" = 1'-0"	

T.O. STAIR ACCESS	1164.36' (354.90 m)
MEAN OF ROOF	1162.03' (354.19 m)
STAIR LANDING	1156.30' (352.44 m)
ROOF DECK	1155.96' (352.34 m)
U.F.C.	1154.66' (351.94 m)
U.F.E.	1146.60' (349.48 m)
M.F.C.	1145.56' (349.17 m)
M.F.E.	1136.49' (346.40 m)
GRADE	1135.83' (346.20 m)



FRONT ELEVATION (SOUTH)

EXTERIOR MATERIALS / COLOURS		
MATERIAL	COLOUR	BRAND
<b>ROOFING:</b>		
ASPHALT ROOFING:	MYSTIQUE 42 - SHADOW BLACK	BP CANADA WEST FORM
METAL ROOFING:	BLACK	
<b>SIDING:</b>		
HORIZONTAL SIDING:	TWINKLE TWINKLE (WHITE)	JAMES HARDIE
VERTICAL B&B SIDING:	TWINKLE TWINKLE (WHITE)	JAMES HARDIE
<b>DOORS &amp; WINDOWS:</b>		
DOORS:	TURQUOISE BLUE	AS PER SUPPLIER
WINDOWS:	BLACK	AS PER SUPPLIER
TRIM:	SATIN BLACK	PAINTED - BENJAMIN MOORE
FASCIA:	SATIN BLACK	PAINTED - BENJAMIN MOORE
TRIM:	SATIN BLACK	PAINTED - BENJAMIN MOORE
RAILINGS:	BLACK	AS PER SUPPLIER
GUTTER & DOWNSPOUTS:	BLACK	AS PER SUPPLIER

SPATIAL CALCULATION - FRONT			
WALL AREA	857.29 sqft.	OR	79.64 sqm.
LIMITING DIST.	13.10 m		
MAX U.P.O.	100.00 %	OR	857.29 sqft.
PROP U.P.O.	22.64 %	OR	194.10 sqft.
NOTE: L.D. TAKEN TO MIDDLE OF ROAD (13.10m APPROX)			

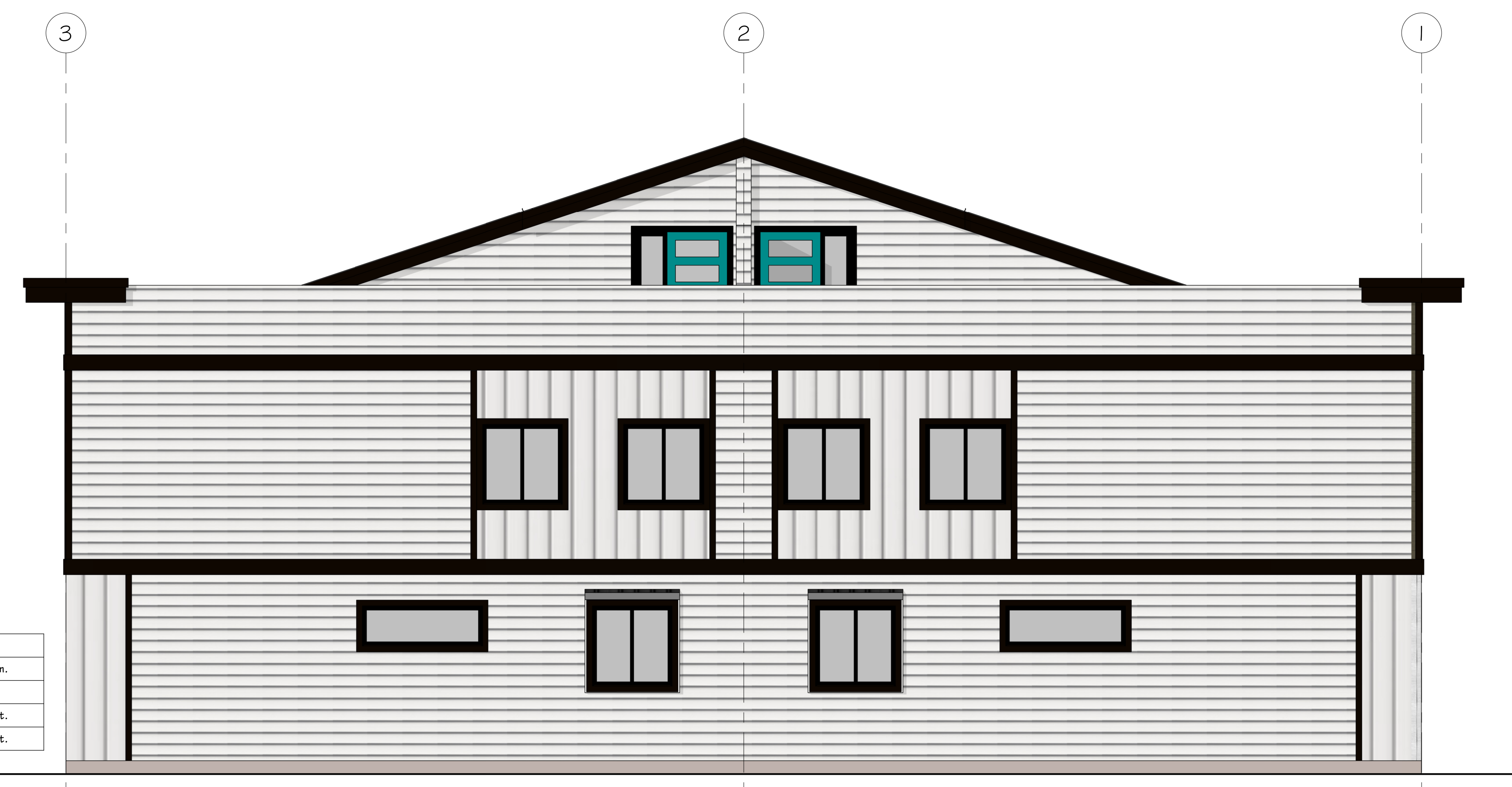
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- ALL GUARDRAILS AS PER B.C.B.C.9.8.7
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SPATIAL CALCULATION - RIGHT			
WALL AREA	1642.24 sqft.	OR	152.57 sqm.
LIMITING DIST.	1.91 m		
MAX U.P.O.	7.82 %	OR	128.42 sqft.
PROP U.P.O.	7.31 %	OR	120.00 sqft.



RIGHT ELEVATION (EAST)



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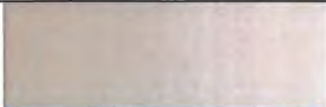
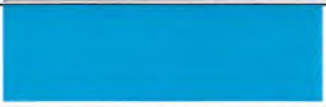

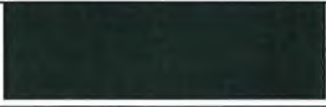

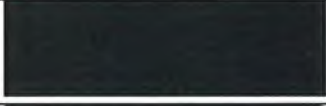
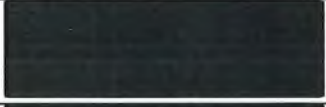
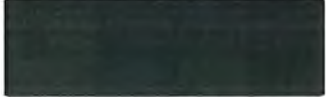
DRAWING TITLE:  
**FRONT & RIGHT ELEVATIONS - COLOR**

DRAWN:	J.K.	SHEET:
PROJECT #:	23137	A3.3
CHECKED:	JCR	
DATE:	16 NOVEMBER 2023	
SCALE:	1/4" = 1'-0"	



809 Burne Ave, Kelowna, BC

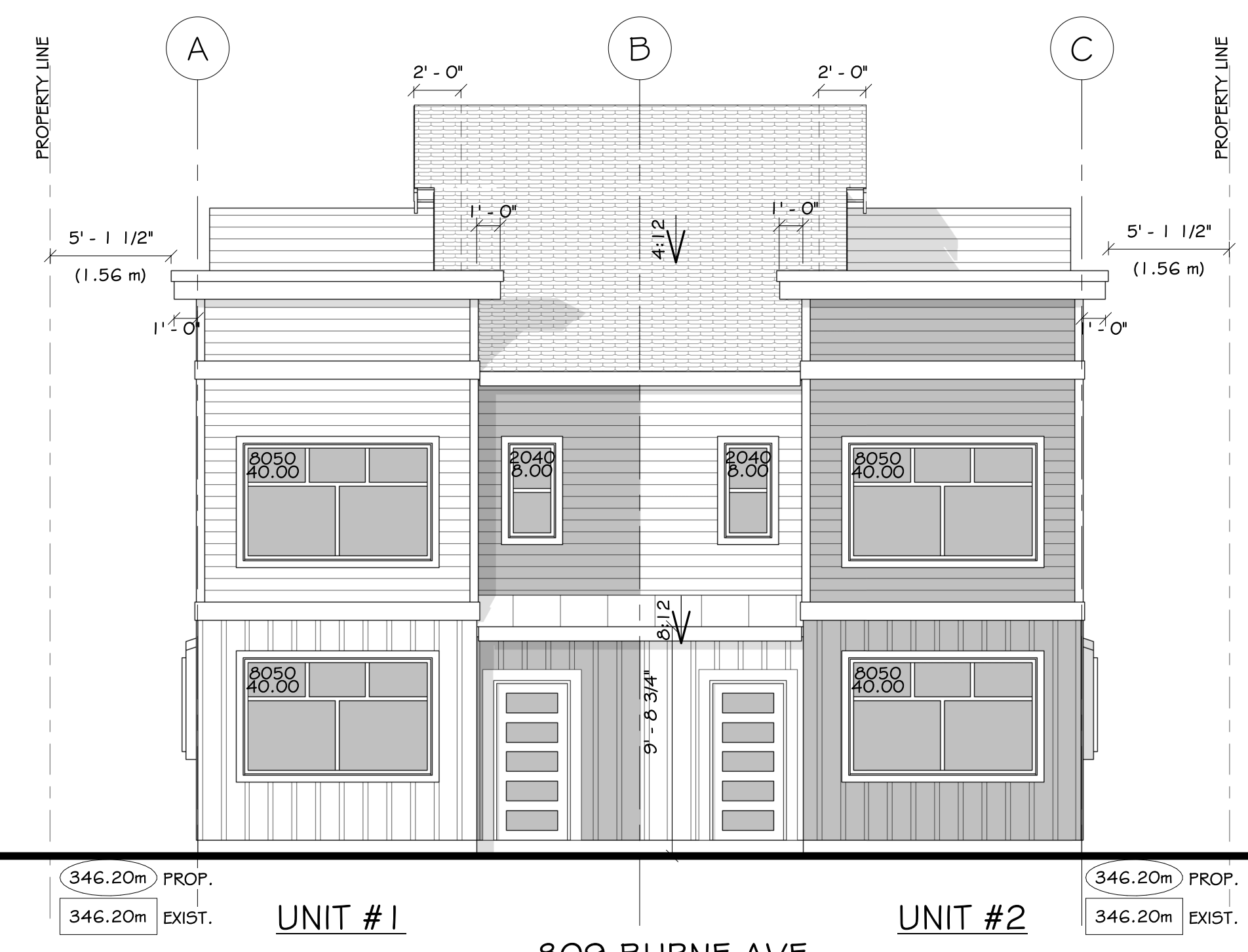
**Color & Materials Board**

		<b>APPLICATION</b>	<b>COLOR / PRODUCT NAME</b>	<b>BRAND/COMPANY</b>
1		Asphalt Roofing	Mystique 42 - Shadow Black	BP Canada
2		Metal Roofing	Black	West Form
3		Horizontal Siding & Vertical B&B Siding	Twinkle Twinkle (White)	As per supplier
4		Doors	Turquoise Blue	As per supplier
5		Windows	Black	As per supplier
6		Windows & Door Trim	Satin Black	Benjamin Moore
7		Facia	Satin Black	Benjamin Moore
8		Trim	Satin Black	Benjamin Moore
9		Railings	Black	As per supplier
10		Gutters & Downspouts	Black	As per supplier

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MEAN OF ROOF	1162.03' (354.19 m)
STAIR LANDING	1156.30' (352.44 m)
ROOF DECK	1155.26' (352.34 m)
D.P.C.	1154.66' (351.94 m)
U.F.E.	1146.60' (349.48 m)
M.F.C.	1145.56' (349.17 m)
M.F.E. GRADE	1136.43' (346.40 m)
	1135.83' (346.20 m)



815 BURNE AVE



UNIT #1

809 BURNE AVE

UNIT #2



805 BURNE AVE

STREETSCAPE ELEVATION

SCALE: 3/16" = 1'-0"



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DRAWING TITLE:  
**STREETSCAPE**

DRAWN:	J.K.	SHEET:	<b>A3.5</b>
PROJECT #:	23137		
CHECKED:	JCR		
DATE:	16 NOVEMBER 2023		
SCALE:	1/4" = 1'-0"		

**GENERAL NOTES**

-THIS DRAWING CONFORMS TO THE REQUIREMENTS OF PART 9 OF THE 2018 BRITISH COLUMBIA BUILDING CODE.

-ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE B.C. BUILDING CODE, PLUMBING CODE, ELECTRICAL CODE, & ALL OTHER CODES AND BYLAWS OF THE CITY OF KELOWNA.

-ALL SPANS CONFORM TO 2018 B.C.B.C. & THE 2009 EDITION OF THE SPAN BOOK (CANADIAN WOOD COUNCIL)

-THE CONTRACTOR, SUB-TRADES AND CONSULTANTS ARE RESPONSIBLE FOR VERIFYING THEY ARE WORKING FROM THE MOST CURRENT EDITION OF PLANS.

-THE CONTRACTOR AND ALL SUBTRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO START OF ANY WORK OR ORDERING OF MATERIALS, AND SHALL REPORT ANY PROPOSED REVISIONS, OR ANY ERRORS OR DISCREPANCIES, TO JCR DESIGN IMMEDIATELY.

-ALL CONCRETE TO BE PLACED ON FIRM, UNDISTURBED SOIL, FREE OF ANY LOOSE, ORGANIC OR FROSTY MATERIAL.

-CONCRETE FOOTINGS AND WALL STRENGTH-25MPA @ 28 DAYS @ 28 DAYS FLOOR SLABS & SIDEWALKS-32MPA 2 COATS ASPHALT EMULSION DAMPPROOFING BELOW GRADE

-ALL LOAD BEARING STUDS, FLOOR JOISTS, AND BUILT-UP BEAMS TO BE MIN. 5.P.F. No 2 OR BETTER.

-SITING OF BUILDINGS MUST BE VERIFIED BY A LEGAL LAND SURVEYOR PRIOR TO PLACING ANY CONCRETE, AND MUST BE IN ACCORDANCE WITH ALL LOCAL BY-LAWS AND REGULATIONS.

-ALL TRUSSES TO BE PRE-ENGINEERED, AND SPANS AND DETAILS VERIFIED BY THE TRUSS SUPPLIER ON-SITE PRIOR TO ANY FABRICATION. JCR DESIGN TO BE SUPPLIED ONE COPY OF THE TRUSS DESIGN.

-DRAWINGS ARE NOT INTENDED TO BE SCALED, AND LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

-JCR DESIGN MUST BE GIVEN FULL ACCESS TO ALL THE WORK IN PROGRESS

-THE CONTRACTOR SHALL SUPPLY THREE COPIES OF ALL SHOP DRAWINGS TO THE ARCHITECTURAL CONSULTANT FOR REVIEW

-ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT AND ROOF VENTS. SEE THE ROOF PLAN AND THE 2018 BRITISH COLUMBIA BUILDING CODE SECTION 9.19.1.

-DOOR FRAMES TO OPENINGS FOR ENTRANCE AND EXTERIOR DOORS TO DWELLING UNITS AND DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES SHALL BE SOLIDLY BLOCKED BETWEEN THE DOOR FRAME AND THE FRAMING AT THE HEIGHT OF THE DEADBOLT AS TO RESIST SPREADING BY THE WAY OF FORCE -ALL GLASS IN DOORS, OR SIDELIGHTS TO BE SAFETY GLASS.

-ALL EXTERIOR HINGED DOORS SHALL HAVE HINGES AND PINS SUCH THAT THE DOORS CANNOT BE REMOVED FROM THE OUTSIDE IN THE CLOSED POSITION.

-EXTERIOR WALL DIMENSIONS IN PLAN ARE TO THE OUTSIDE FACE OF PLYWOOD SHEATHING OR TO THE OUTSIDE FACE OF FOUNDATION WALLS.

-PROVIDE A MINIMUM OF TWO HOSE BIBS PER UNIT, LOCATION TO BE DETERMINED BY THE DEVELOPER. -RAINWATER LEADERS ARE NOT SHOWN ON THE ELEVATIONS OR THE PLANS, LOCATION TO BE DETERMINED BY THE DEVELOPER.

-THE DIMENSIONS FOR U.P.O. CALCULATIONS ARE 2" SMALLER IN EACH DIRECTION FROM THE SIZES GIVEN ON PLAN.

-APPROVED SMOKE ALARMS TO BE INSTALLED 9.10.19

-APPROVED CARBON MONOXIDE ALARMS TO BE INSTALLED

-BEDROOM DOORS MUST BE UNDERCUT 12mm FOR CROSS VENTILATION

-HVAC EQUIPMENT TO BE LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE

-HVAC & SWH EQUIPMENT TO MEET MIN. PERFORMANCE REQ. DETERMINED IN TABLES 9.36.3.10 & 9.36.4.2 TO BE INSTALLED OUTSIDE

-MECHANICAL, PLUMBING, AND ELECTRICAL COMPONENTS PARALLEL TO AN INSULATED WALL MUST NOT LOWER THE REQUIRED INSULATION OF THE WALL. KEEP PANELS ON INTERIOR WALL OR FUR OUT FRAMING / OR HANG ON WALL.

-PIPING OUTSIDE CONDITIONED SPACE MUST BE INSULATED TO LEVEL OF ABOVE GRADE WALLS.

-CONTROLS MUST BE ACCURATE TO +/- 0.5°C -WOOD HEATERS & STOVES EXEMPT.

-HUMIDIFICATION IS NOT REQUIRED (EXCEPT INDOOR POOLS AND HOT TUBS > 10sqm. WITH NO COVER), BUT AUTO CONTROLS ARE REQUIRED WHERE HUMIDIFICATION IS USED.

-HVAC SIZED & INSTALLED TO GOOD PRACTICES -DUCT SEAMS SEALED -DUCTS OUTSIDE CONDITIONED SPACE SEALED & INSULATED TO VALUE OF WALLS. -HRV NOT REQUIRED BUT MUST CONFORM WITH 9.36 WHERE PRESENT.

-SPACE HEAT & SERVICE HOT WATER EFFICIENCIES DETAILED IN 9.36

-CONTROLS FOR SPACE HEAT & SERVICE HOT WATER ARE REQUIRED.

**9.32. VENTILATION**

-EXHAUST ONLY VENTILATION NO LONGER ACCEPTABLE

-NEW PRINCIPAL FAN SIZING TABLE

-VENTILATION AIR MUST BE DISTRIBUTED TO EACH BEDROOM AND A COMMON AREA

-PRINCIPAL SYSTEM - MUST RUN CONTINUOUSLY

-CRAWLSPACE VENTILATION REQUIRED

-CREDIT FOR VERY SHORT BATH FAN EXHAUST DUCTS

**9.32.4. PROTECTION AGAINST DEPRESSURIZATION**

-MAKE-UP AIR IS REQUIRED FOR LARGE CAPACITY EXHAUST EQUIPMENT (0.5 AIR CHANGES/HOUR) WHEN:

-HOUSE HAS APPLIANCES SUBJECT TO BACK DRAFTING OR HOUSE IS LOCATED IN AREA CLASSIFIED AS RADON AREA 1

**9.32.3.8. DUCTS**

-EXHAUST DUCTS MUST DISCHARGE TO OUTDOORS

-EXHAUST AND SUPPLY DUCTS MUST BE SIZED AS REQUIRED BY MANUFACTURER & EQUIVALENT DIAMETER AS PER TABLE 9.32.3.8 (3)

-NEED TO BE AIR-SEALED, INSULATED AND PROVIDED WITH VAPOUR BARRIER

**SPATIAL SEPARATION OF BUILDINGS AND UNPROTECTED OPENING CALCULATIONS 9.10.15.**

LIMITING DISTANCE & FIRE DEPARTMENT RESPONSE;

A LIMITING DISTANCE EQUAL TO HALF THE ACTUAL LIMITING DISTANCE SHALL BE USED AS INPUT TO THE REQUIREMENTS OF THIS SECTION, WHERE:

THE TIME FROM RECEIPT OF NOTIFICATION OF A FIRE BY THE FIRE DEPARTMENT UNTIL THE FIRST FIRE DEPARTMENT VEHICLE ARRIVES AT THE BUILDING EXCEEDS 10 MIN IN 10% OR MORE OF THE CALLS TO THE BUILDING.

- EFFECTIVE INSULATION OF CEILINGS, WALLS, AND FLOORS MEET THE REQUIREMENTS OF TABLE 9.36.2.6.A AND TABLE 9.36.2.6.B FOR THE CORRECT CLIMATE ZONE.

- THE THERMAL CHARACTERISTICS OF WINDOWS, DOOR AND SKYLIGHTS MEET THE REQUIREMENTS OF TABLE 9.36.2.7.A, B, AND C FOR THE CORRECT CLIMATE ZONE.

- EFFECTIVE INSULATION OF FOUNDATIONS MEET THE REQUIREMENTS OF TABLE 9.36.2.8.A OR B FOR THE CORRECT CLIMATE ZONE.

- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS.

- DAMPERS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED.

- PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED.

- HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE.

- TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT.

- HVAC AND SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.10. AND 9.36.4.2

- SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS.

- SERVICE WATER HEATHER HAVE TEMPERATURE CONTROLS.

- THE AIR BARRIER DETAILS, AND LOCATIONS HAVE BEEN IDENTIFIED.

**LEGAL DESCRIPTION**

LOT 76, PLAN KAF700, SECTION 19, TOWNSHIP 26, OSOYOOS DIV OF YALE LAND DISTRICT

**CIVIC ADDRESS**

809 BURNE AVE, KELOWNA, B.C.

**SITE RECONCILIATION**

SITE AREA: 566.24 sqm. OR 6,095.00 sqft.

LOT WIDTH: MINIMUM: 7.5m OR 24.61' EXISTING: 15.24m OR 50.00'

LOT DEPTH: MINIMUM: 30m OR 98.43' EXISTING: 37.16m OR 121.90'

ZONING: MFI

LOT COVERAGE: MAXIMUM: 55% - 311.43 sqm. OR 3,352.25 sqft. PROPOSED: 40.17% - 227.47 sqm. OR 2,448.42 sqft. (EXCLUDED GARAGE)

LOT COVERAGE & IMPERMEABLE SURFACE: MAXIMUM: 75% - 424.68 sqm. OR 4,571.25 sqft. PROPOSED: 74.79% - 424.49 sqm. OR 4,558.43 sqft.

F5R: MAXIMUM: 0.8 (W LANE) - 453.00 sqm. OR 4,876.00sqft. PROPOSED: 0.78 - 449.74 sqm. OR 4,767.15 sqft. (EXCLUDED GARAGE)

BUILDING HEIGHT: MAXIMUM: 8.0m OR 26.25' PROPOSED: 7.99m OR 26.20'

**SETBACKS:**

FOUR-PLEX FRONT: MINIMUM: 4.00m OR 13.12' PROPOSED: 4.00m OR 13.12'

REAR: MINIMUM: 0.90m OR 2.95' PROPOSED: 1.248m OR 40.94'

RIGHT: MINIMUM: 1.20m OR 3.94' PROPOSED: 1.91m OR 6.27'

LEFT: MINIMUM: 1.20m OR 3.94' PROPOSED: 1.91m OR 6.27'

CARPORT FRONT: MINIMUM: 4.00m OR 13.12' PROPOSED: 29.56m OR 96.98'

REAR: MINIMUM: 0.90m OR 2.95' PROPOSED: 1.50m OR 4.92'

RIGHT: MINIMUM: 1.20m OR 3.94' PROPOSED: 1.22m OR 4.00'

LEFT: MINIMUM: 1.20m OR 3.94' PROPOSED: 1.22m OR 4.00'

FLOODPLAIN: REQUIRED FCL: 346.40m EXISTING GRADE: 346.20m TOP OF CONCRETE SLAB: 346.40m

10 MINUTE FIRE RESPONSE: YES

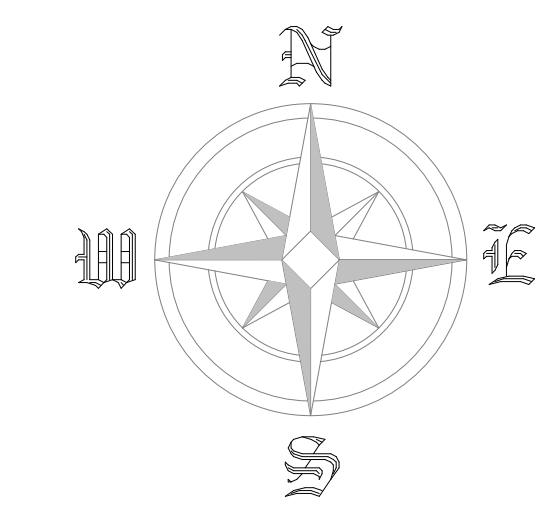
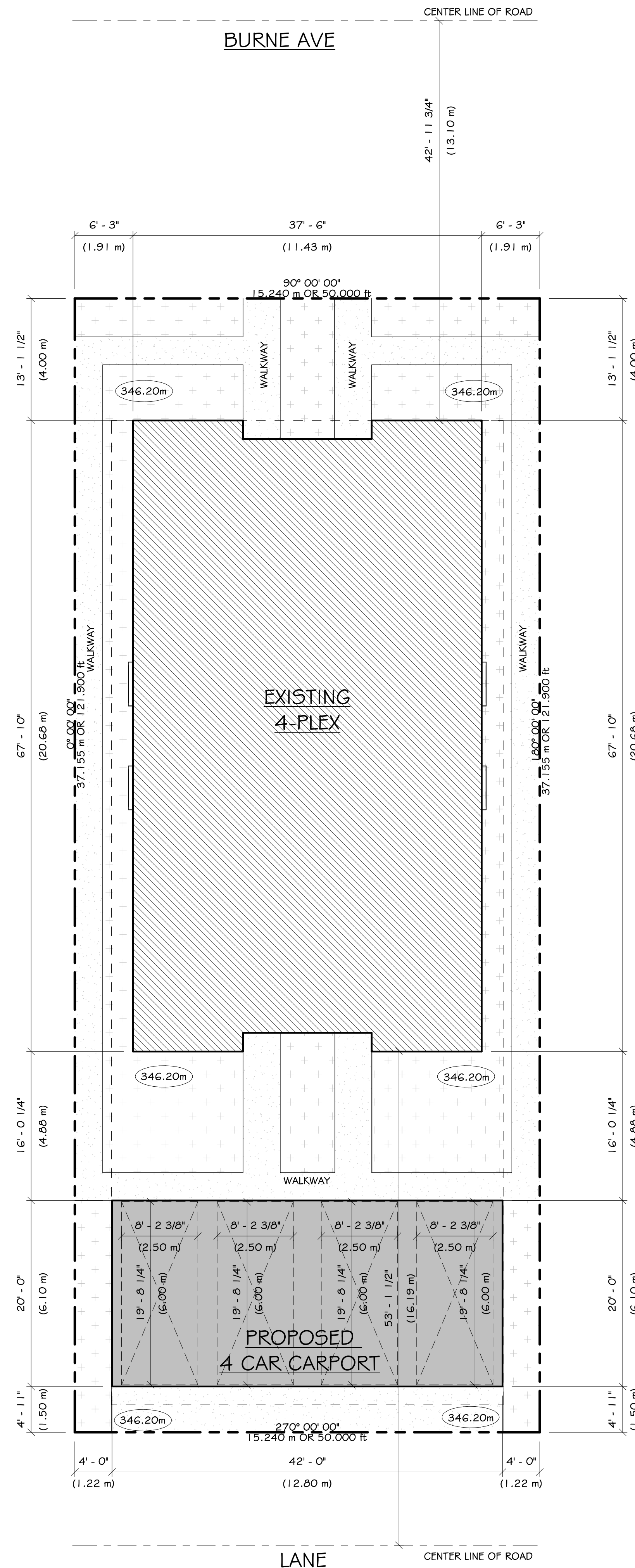
**PARKING CALCULATIONS:**

REQUIRED: 1 STALL PER DWELLING UNIT

PROPOSED: 4 STALLS IN CAR PORT

**DRAWING INDEX(CARPORT)**

SHEET	DRAWING TITLE
A1.1	SITE PLAN & NOTES - CARPORT
A1.2	CARPORT PLANS
A1.3	CARPORT ELEVATIONS & SECTIONS



NOTE: ALL STRUCTURE TO BE SPECIFIED BY STRUCTURAL ENGINEER

NOTE: ALL RETAINING TO BE SPECIFIED BY GEOTECHNICAL ENGINEER

NOTE: STEP CODE REQUIREMENTS TO BE PROVIDED BY ENERGY MODELLING CONSULTANT

NOTE: TRUSS DESIGN TO BE REVIEWED BY JCR DESIGN

NOTE: JCR DESIGN ASSUMES NO RESPONSIBILITY FOR ANY OMISSIONS OR ERRORS

NOTE: ALL CONSULTANT DRAWINGS TO BE REVIEWED BY JCR DESIGN PRIOR TO START OF CONSTRUCTION

NOTE: ALL CHANGES & REVISIONS TO ARCHITECTURAL & STRUCTURAL COMPONENTS MUST BE REVIEWED BY JCR DESIGN.



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5 RE-ISSUED FOR PERMIT	16-11-2023

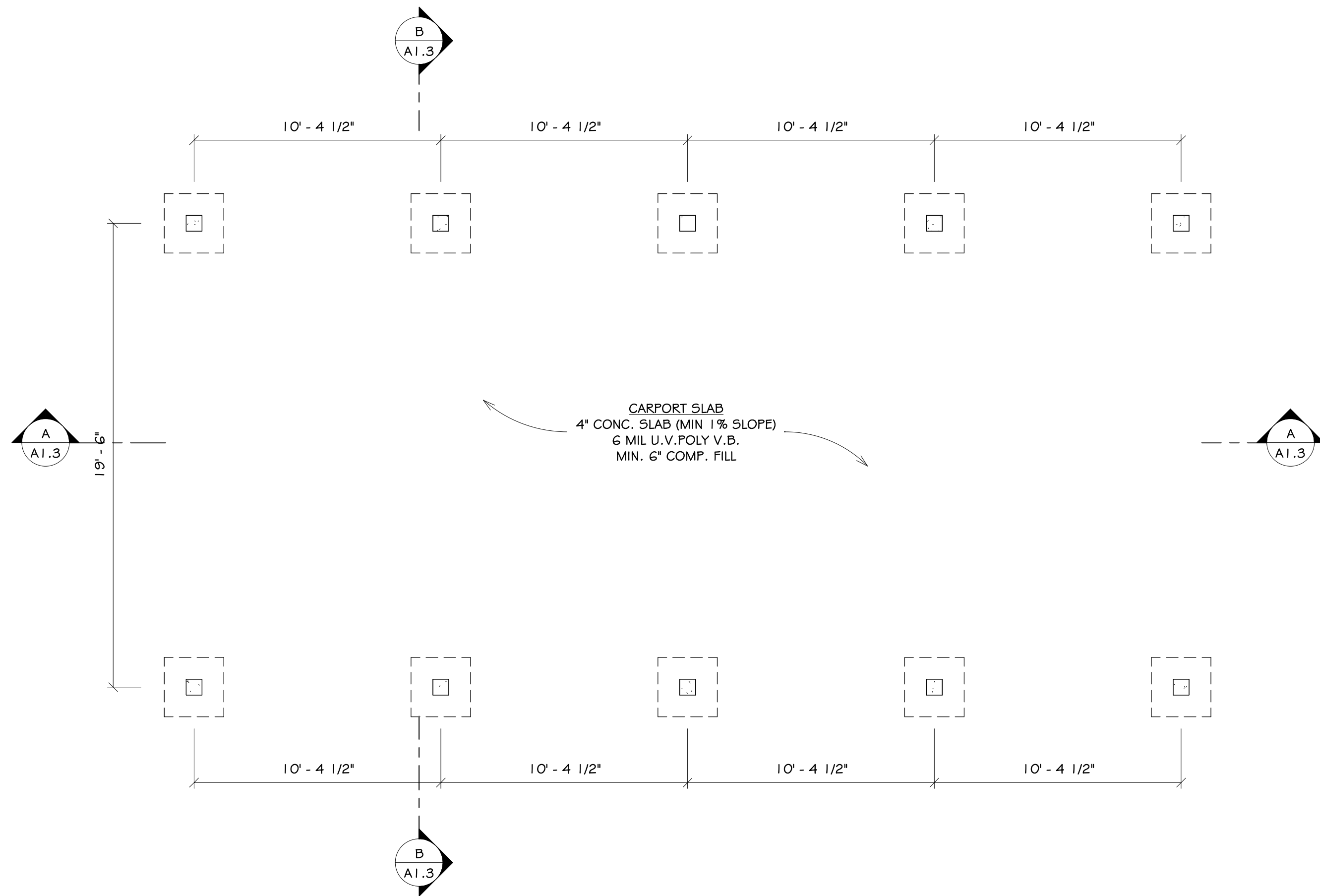
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CHILLIWACK, B.C. V2R 5S1  
PHONE: 604-858-0031  
EMAIL: INFO@JCRDESIGN.CA

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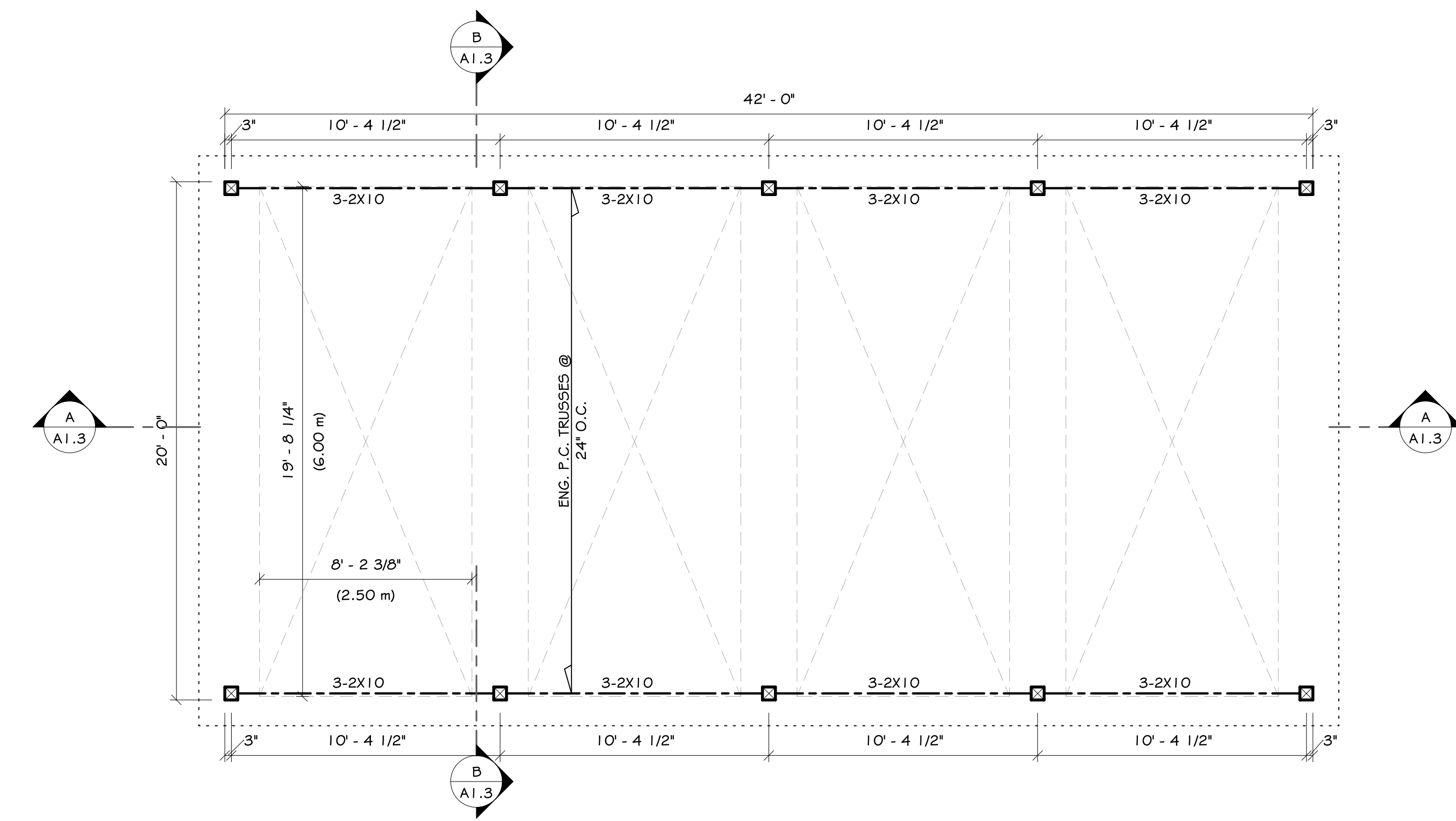
PROJECT NAME AND ADDRESS:  
**KELOWNA 4PLEX**  
809 BURNE AVENUE  
KELOWNA, B.C.

DRAWING TITLE:  
**SITE PLAN & NOTES - CARPORT**

DRAWN:	J.K.	SHEET:	<b>A1.1</b>
PROJECT #:	23137		
CHECKED:	JCR		
DATE:	16 NOVEMBER 2023		
SCALE:	1/8" = 1'-0"		



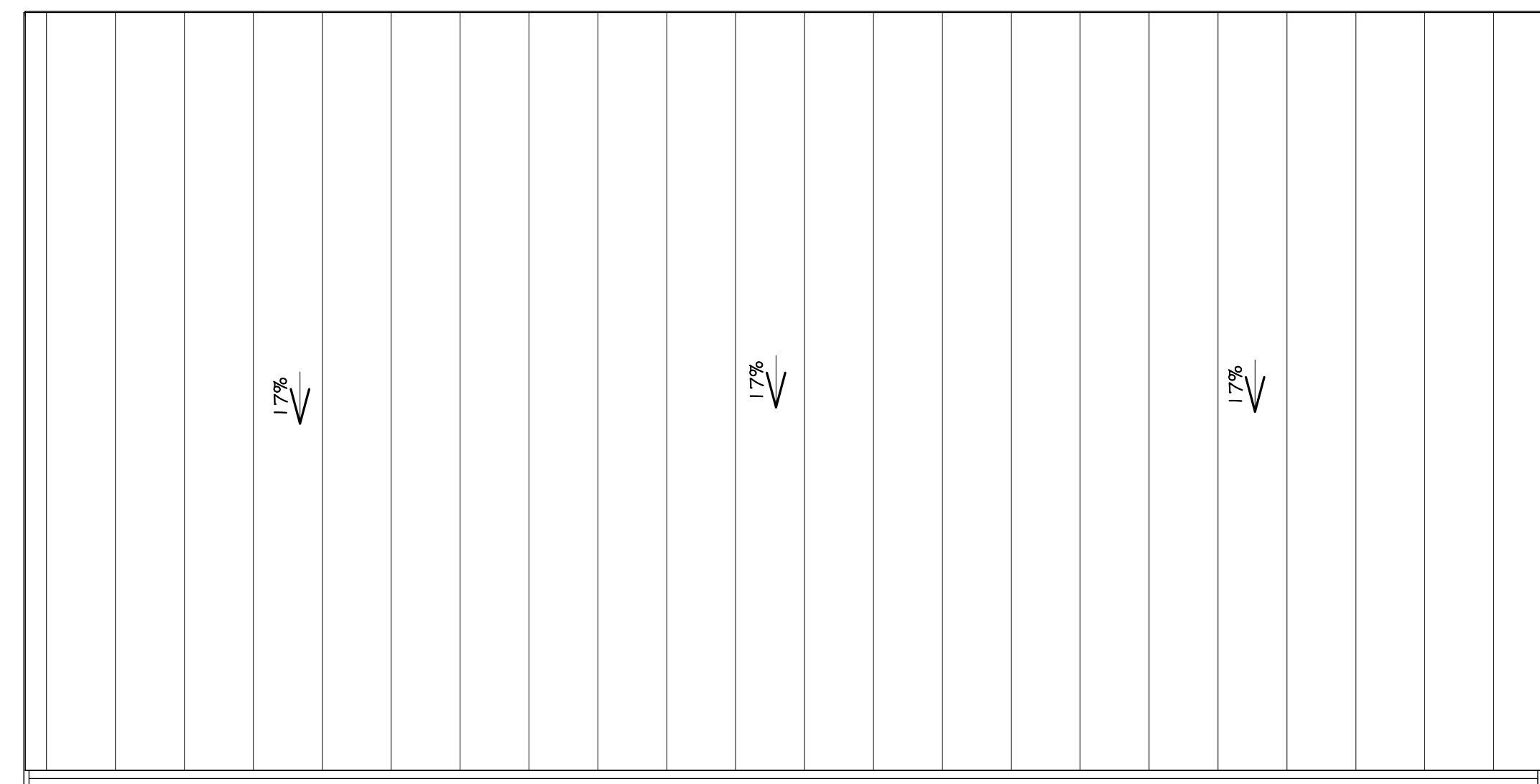
CARPORT FOUNDATION



CARPORT  
CARPORT AREA: 840 sqft.

- TYPICAL WINDOW NOTES:**
- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 3'0" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
  - INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
  - DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

- TYPICAL NOTES:**
- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
  - ALL BEAMS AND UNTELS TO BE 2-2x10 U.N.O.
  - ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
  - ALL HAND RAILS AS PER B.C.B.C. 9.8.7
  - ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
  - ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
  - ATTIC HATCHES TO BE WEATHERSTRIPPED



CARPORT ROOF

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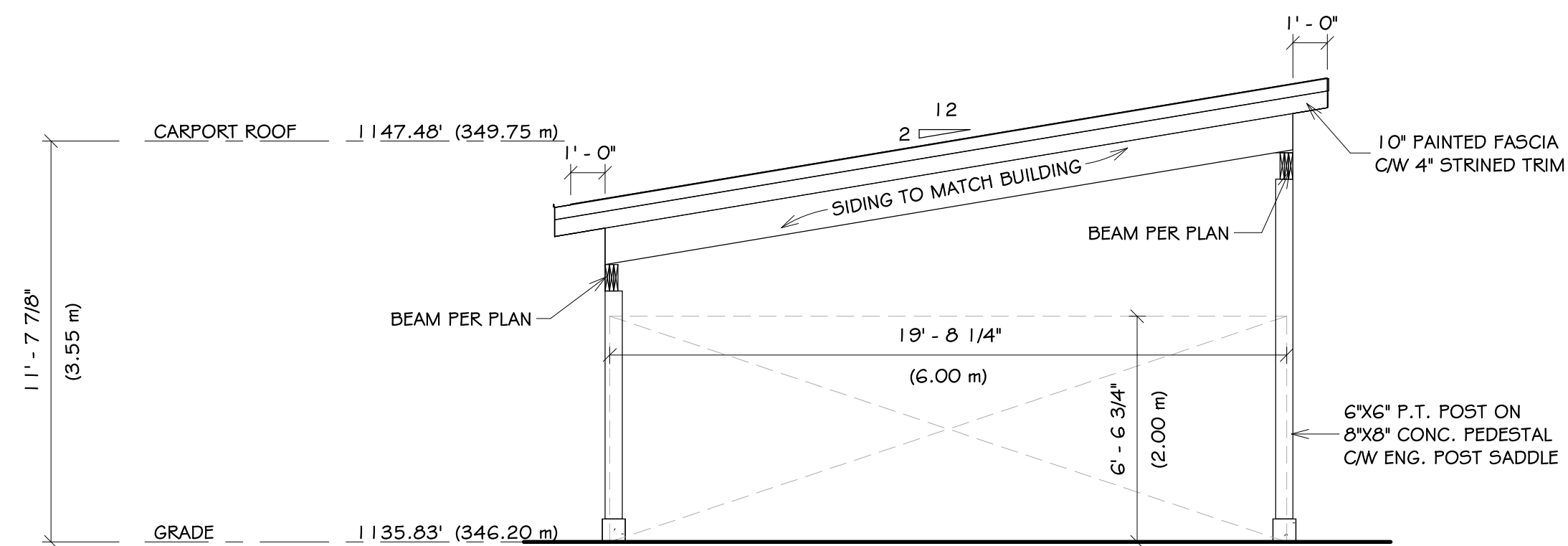
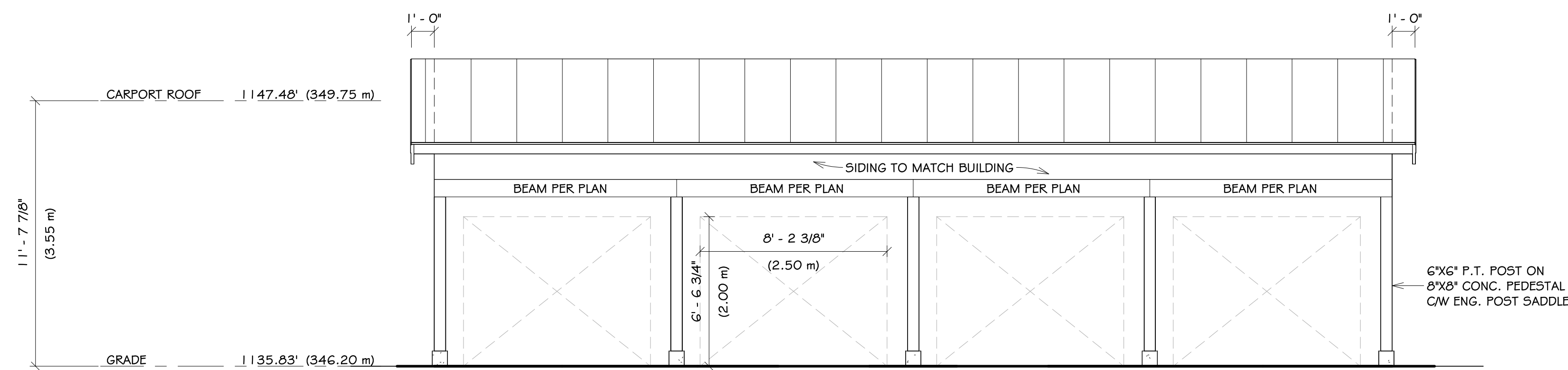
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PROJECT NAME AND ADDRESS:  
**KELOWNA 4PLEX**  
809 BURNE AVENUE  
KELOWNA, B.C.

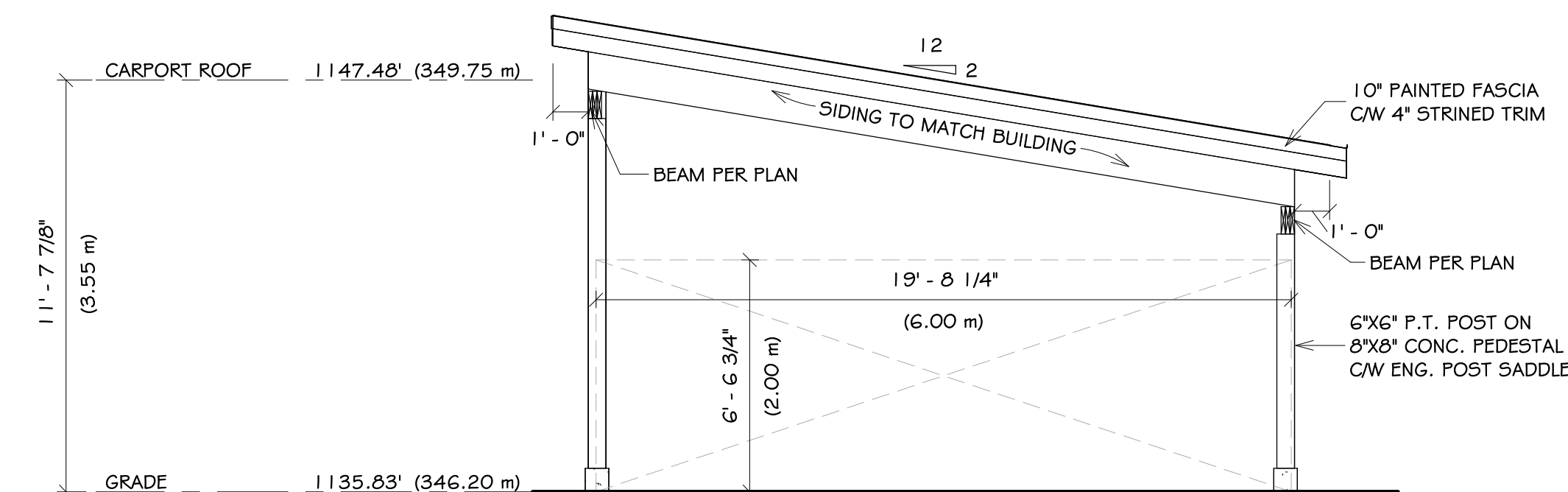
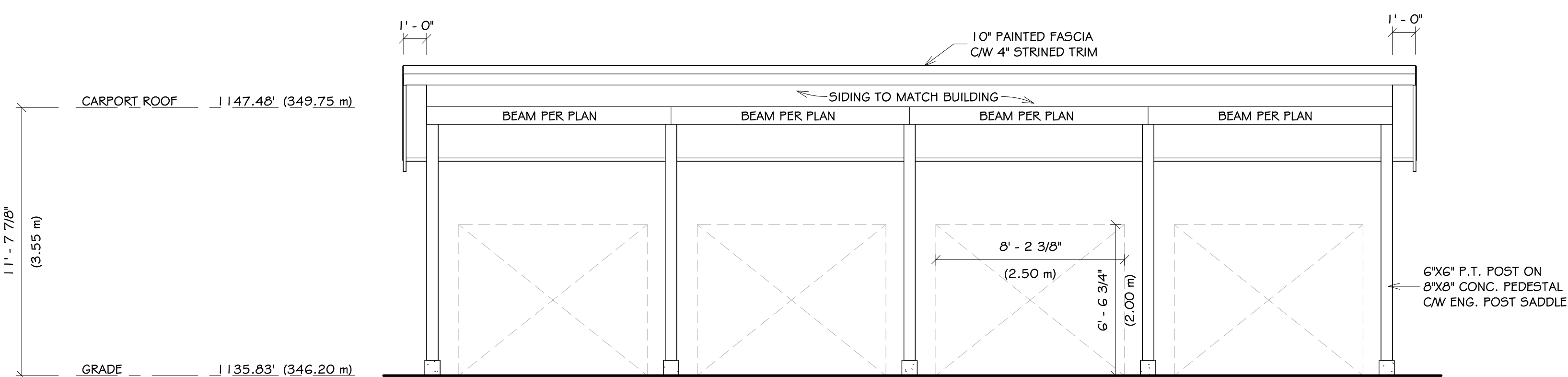
DRAWING TITLE:  
**CARPORT PLANS**

DRAWN:	J.K.	SHEET:	<b>A1.2</b>
PROJECT #:	23137		
CHECKED:	JCR		
DATE:	16 NOVEMBER 2023		
SCALE:	1/4" = 1'-0"		



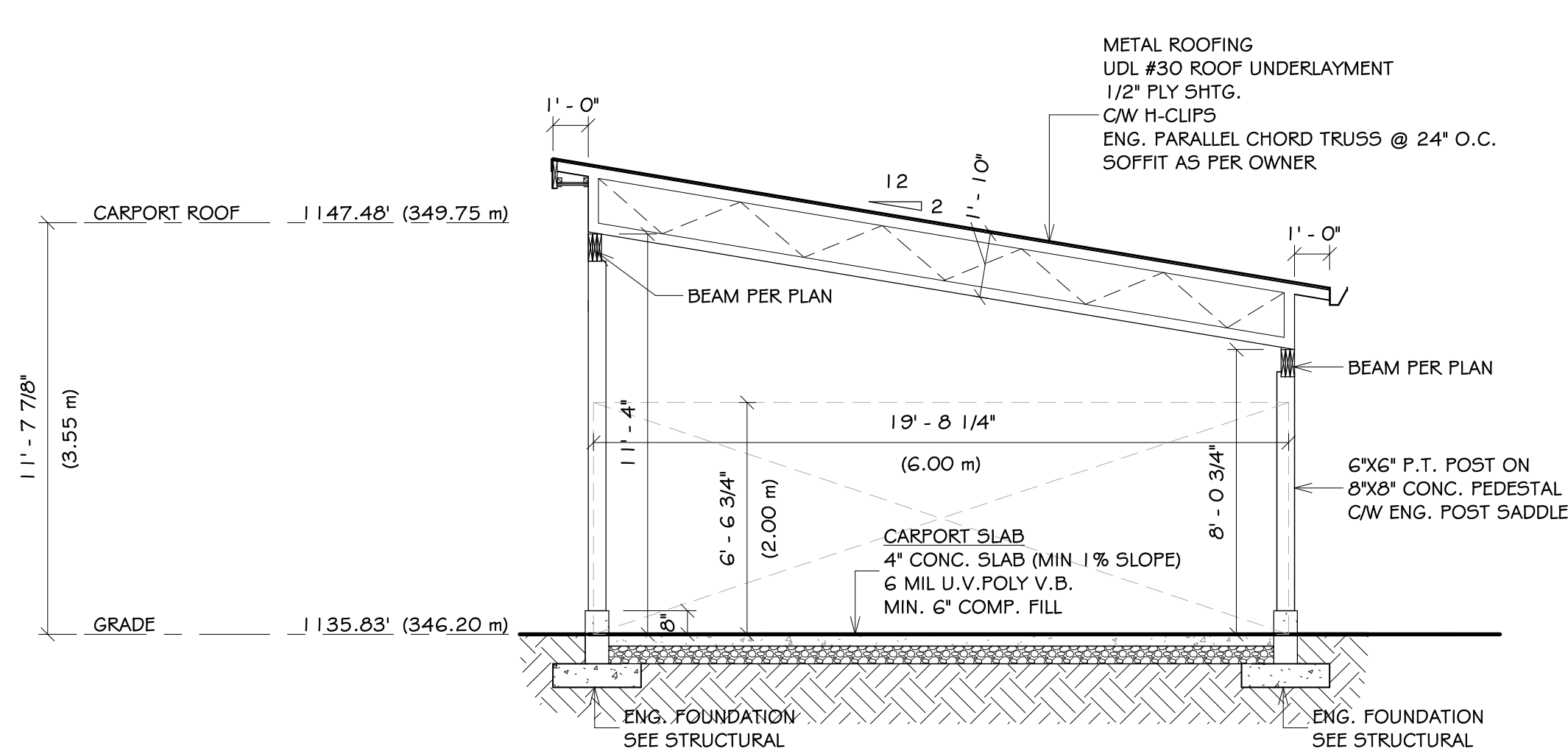
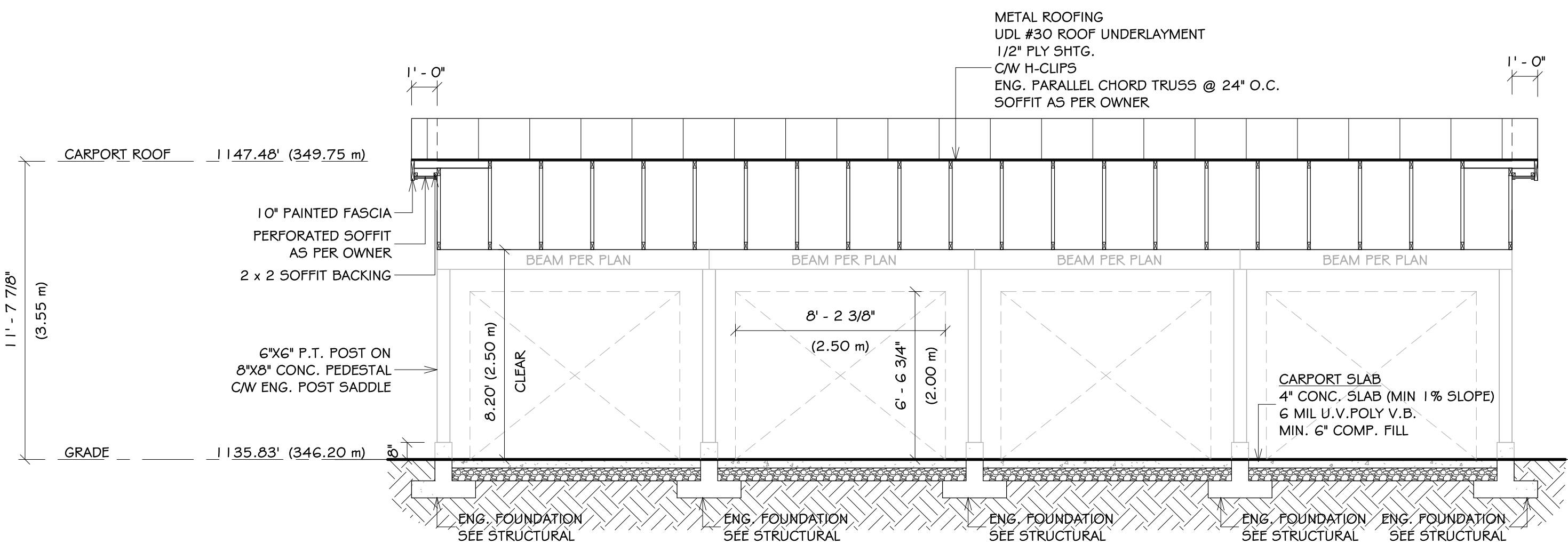
RIGHT (EAST)

SCALE: 1/4" = 1'-0"



LEFT (WEST)

SCALE: 1/4" = 1'-0"



CARPOT SECTION 'A'

SCALE: 1/4" = 1'-0"

CARPOT SECTION 'B'

SCALE: 1/4" = 1'-0"

- TYPICAL WINDOW NOTES:**
- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 3'0" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
  - INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
  - DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

- TYPICAL NOTES:**
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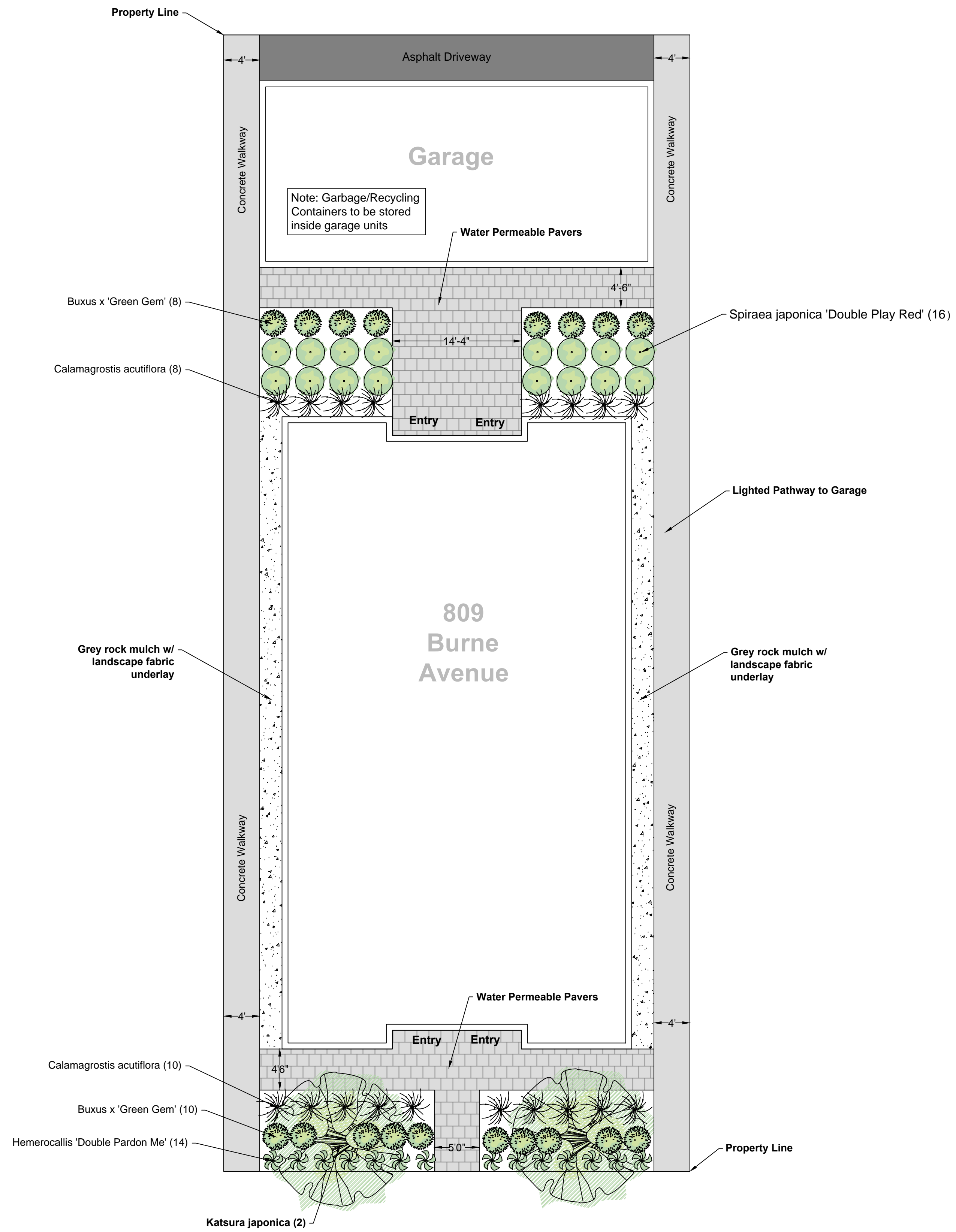
KELOWNA 4PLEX

809 BURNE AVENUE  
KELOWNA, B.C.

DRAWING TITLE:

CARPOT ELEVATIONS & SECTIONS

DRAWN:	J.K.	SHEET:
PROJECT #:	23137	A1.3
CHECKED:	JCR	
DATE:	16 NOVEMBER 2023	
SCALE:	1/4" = 1'-0"	



Landscape Standards (7.2)	Zone	Proposed
Min. Tree Amount	2	2
Min. Deciduous Tree Caliper	Large - 5 cm	Large - 6cm
Min. Ratio Between Tree Sizes	Min 50%	-
Min. Growing Medium Area	75%	75%
Min. Growing Media volumes per tree	30m <sup>3</sup>	30m <sup>3</sup>
Retention of existing trees on site?	No	
Landscape graded areas	No significant slope	
Fence Height	N/A	
Riparian management area?	No	
Surface parking lot?	No	
Refuse and recycle bins screened?	In Garage	



Pavers - Water Permeable  
Colour- Charcoal or Similar

**Plant List**

Qty	Botanical	Common	Size
2	Katsura japonica	Katsura	6Cm Cal Min
18	Buxus x 'Green Gem'	Green Gem Boxwood	#2
18	Calamagrostis acutiflora	Feather Reed Grass	#2
14	Hemerocallis 'Double Pardon Me'	Double Pardon Me Daylily	#1
16	Spiraea japonica 'Double Play Red'	Double Play Red Spiraea	#2

**Notes:**

1. Planting beds to be dressed with dark grey rock mulch.
2. Site to be watered with a fully automated irrigation system.
3. All structures to have positive drainage.
4. All materials and methods to conform to Canadian Landscape Standard.
5. Plant material to be locally sourced.

